

CLEAR CREEK PARK BASKETBALL COURT

LAYOUT AND GRADING PLANS FOR

# CLEAR CREEK PARK BASKETBALL COURT

**OWNER**

LARAMIE COUNTY PLANNING  
RECREATION BOARD  
3966 ARCHER PARKWAY  
CHEYENNE, WY 82009

**ENGINEER:**



AVI PC  
1103 OLD TOWN LANE,  
SUITE 101  
CHEYENNE, WYOMING 82001  
307.637.6017  
FAX 307.632.9326  
WWW.AVIPC.COM

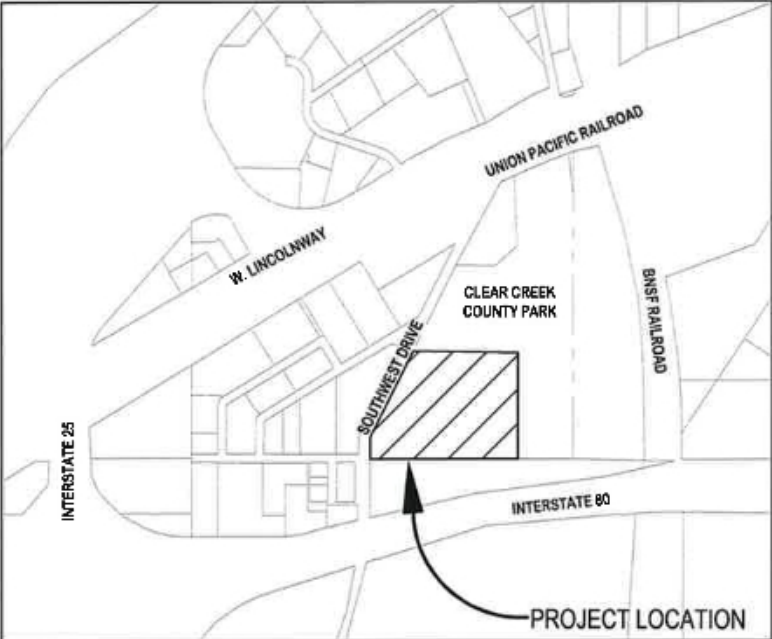


**ENGINEER'S CERTIFICATE**

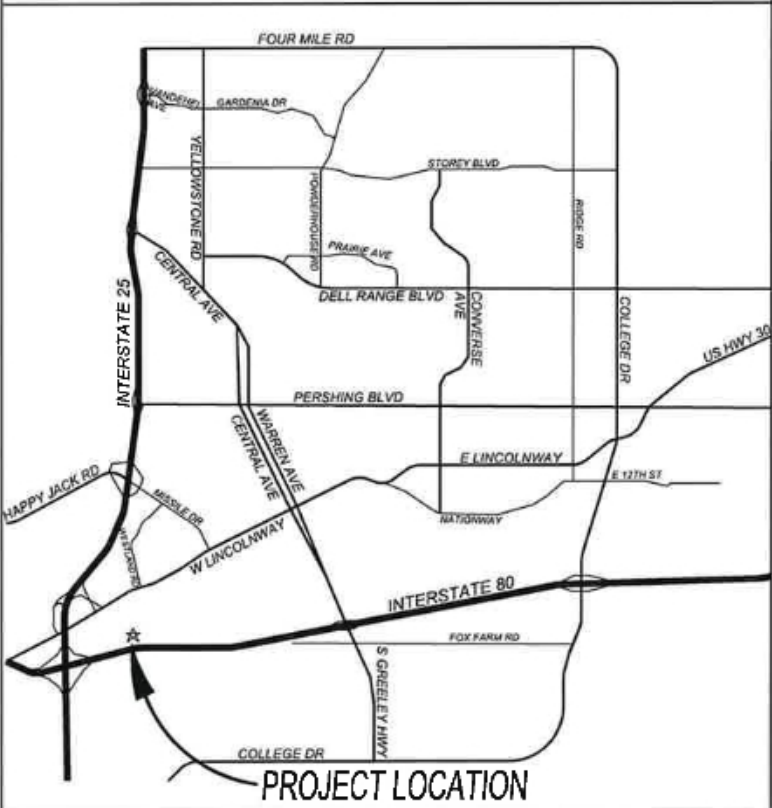
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER  
MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED  
PROFESSIONAL ENGINEER IN THE STATE OF WYOMING.



PROJECT SURVEY DATUM  
HORIZONTAL DATUM: MODIFIED GROUND  
VERTICAL DATUM: NGVD 1929



PROJECT EXTENTS



VICINITY MAP - CITY, STATE

**INDEX OF SHEETS**

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	GENERAL NOTES
3	SITE PLAN
4	BASKETBALL COURT TYPICAL SECTIONS
5	IRRIGATION ADJUSTMENTS
6	BID OPTIONS & TABULATION
7	DETAILED GRADING PLAN
8 - 9	JOINT LAYOUT AND SURFACING DETAILS
10	BASKETBALL HOOP DETAILS
11	PICKLEBALL COURT DETAILS
12	STRIPING LAYOUT

REVIEWED AND APPROVED PER CITY OF  
CHEYENNE STANDARDS, ORDINANCES,  
AND CITY CODES.

CITY ENGINEER	DATE APPROVED
LARAMIE COUNTY	DATE APPROVED
LARAMIE COUNTY PLANNING & RECREATION BOARD	DATE APPROVED



\\4680\_Clar Creek Park\_BB Court\DESIGN\4680\_PRT0.dwg Feb 23, 2023 4:00pm dchard

GENERAL NOTES:

1.

ALL WORK SHOWN ON THESE CIVIL DRAWINGS WHETHER PUBLIC OR PRIVATE IMPROVEMENTS SHALL COMPLY WITH THE CITY OF CHEYENNE, BOARD OF PUBLIC UTILITIES CONSTRUCTION SPECIFICATIONS LATEST VERSION, AND THE PROJECT SPECIFICATIONS. IF CONFLICTS EXIST BETWEEN THE PROJECT SPECIFICATIONS AND/OR DRAWING, AND THE CITY SPECIFICATIONS, THE PROJECT SPECIFICATIONS AND/OR DRAWINGS SHALL BE REVIEWED AND THE MORE STRINGENT OR CONSERVATIVE SPECIFICATION BENEFITING THE OWNER SHALL PREVAIL.
2.

PLEASE REFER TO OTHER REQUIREMENTS & SPECIAL CONDITIONS AS PROVIDED FOR IN THE "INVITATION TO BID" WHICH ARE HEREBY INCORPORATED HEREIN BY REFERENCE.
3.

PLEASE INCORPORATE ALL OTHER NOTES AS MAYBE PRESENTED WITHIN AND THROUGHOUT THIS PLAN SET AS SET FORTH HEREIN.
4.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT A DETAILED WRITTEN CONSTRUCTION PLAN AND CONSTRUCTION SCHEDULE TO BE APPROVED BY THE ENGINEER PRIOR TO THE PRE-CONSTRUCTION MEETING.
5.

THE CONTRACTOR SHALL PROVIDE A PROJECT SUPERINTENDENT ON-SITE AT ALL TIMES DURING CONSTRUCTION ACTIVITIES. THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR, BUT NOT LIMITED TO THE FOLLOWING TASKS:

5.1.

MUST BE KNOWLEDGEABLE AND FAMILIAR WITH PLANS, SPECS, ADDENDUMS, AND SHOP DRAWINGS.

5.2.

MANAGE THE CONSTRUCTION ACTIVITIES OF ALL SUB-CONTRACTORS ON-SITE.

5.3.

REVIEW AND APPROVE SHOP DRAWINGS INCLUDING SUB-CONTRACTORS.

5.4.

REVIEW STAKEOUT DATA, SURVEY STAKES AND VERIFY AGAINST THE DESIGN PLANS PRIOR TO ASSOCIATED CONSTRUCTION ACTIVITY. IF A DISCREPANCY IS DISCOVERED, WORK IS TO STOP IMMEDIATELY UNTIL RESOLVED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.

5.5.

OBTAIN APPROVAL FROM THE OWNER/ENGINEER PRIOR TO BEGINNING ANY FORCE ACCOUNT EFFORTS.

5.6.

PROVIDE AN ACCURATE WEEKLY CONSTRUCTION SCHEDULE.

5.7.

AVAILABLE DURING NON-WORKING HOURS FOR EMERGENCIES AND OR STORMWATER MANAGEMENT EROSIONS CONTROL TIMES.

5.8.

SUBSTITUTION BY PERMISSION ONLY.
6.

THE CONTRACTOR SHALL HIRE AN INDEPENDENT REPUTABLE MATERIAL TESTING COMPANY FOR MATERIALS TESTING SOILS COMPACTION AND PROVIDE COPIES OF ALL TESTS TO THE OWNER, ENGINEER AND CITY.
7.

THE CONTRACTOR'S SURVEYOR SHALL VERIFY PROJECT HORIZONTAL AND VERTICAL CONTROL WITH A LEVEL LOOP PRIOR TO BEGINNING ANY CONSTRUCTION WORK AND NOTIFY THE ENGINEER IF A DISCREPANCY IS FOUND.

GENERAL / GRADING NOTES:

1.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION (HORIZONTAL AND VERTICAL) AND SIZE (OUTSIDE DIAMETER, ETC.) OF ALL EXISTING IMPROVEMENTS THAT MAY BE AFFECTED BY THE CONSTRUCTION WITHIN PROJECT LIMITS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO THE CONSTRUCTION OF IMPROVEMENTS THAT ARE AFFECTED BY INFORMATION THAT DIFFERS FROM THAT SHOWN ON THESE PLANS.
2.

ANY UTILITIES OR IMPROVEMENTS THAT ARE DISCOVERED DURING CONSTRUCTION THAT ARE NOT SHOWN IN THE PLANS SHALL BE IMMEDIATELY BROUGHT TO THE ENGINEERS ATTENTION.
3.

LOCATION OF POTENTIAL CONFLICT BETWEEN EXISTING UTILITIES AND NEW CONSTRUCTION SHALL BE POT-HOLED AND THE EXISTING IMPROVEMENT SHALL BE SURVEYED. THE SURVEY RESULTS SHALL BE PRESENTED TO THE OWNER & AVI AND ANY DESIGN CHANGES WILL TAKE UP TO 5 WORKING DAYS TO RETURN TO THE CONTRACTOR.
4.

THE CONTRACTOR SHALL NOT OPERATE ANY FACILITIES OWNED BY ANY UTILITY.
5.

THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAG PERSONS, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY, IN ACCORDANCE WITH THE CITY OF CHEYENNE AND/OR THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
6.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AS NOTED PRIOR TO COMMENCEMENT OF ANY WORK ON THE PROJECT.
7.

THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT RECORD DRAWING TO THE OWNER AT THE END OF THE PROJECT. THE DRAWINGS SHALL BE COMPLETE WITH DETAILS, DIMENSIONS, AND ELEVATIONS OF ALL INSTALLATIONS VARYING FROM THESE PLANS (SEE CONTRACT'S AS-BUILT DRAWING NOTES, THIS SHEET).

OWNER - 1 SET

ENGINEER - 1 SET
8.

ANY DAMAGE TO ANYTHING OUTSIDE THE CONSTRUCTION LIMITS OR INTENTS SHALL BE REPAIRED OR REPLACED PER CITY STANDARDS AND SPECIFICATIONS AT NO COST TO THE OWNER.
9.

THE CONTRACTOR SHALL CONTROL STORMWATER RUNOFF, DUST AND MUD FROM ALL CONSTRUCTION ACTIVITIES PER STATE AND FEDERAL REQUIREMENTS, INCLUDING ACCESS ROADS THROUGHOUT CONSTRUCTION.
10.

QUALITY ASSURANCE MATERIAL TESTING FOR SOILS WILL BE PERFORMED BY AN INDEPENDENT TESTING LAB, HIRED BY THE CONTRACTOR, FOR VERIFICATION OF CONTRACTORS COMPLIANCE. THE CONTRACTOR IS NOT RELIEVED FROM COMPLYING WITH ALL APPLICABLE SPECIFICATIONS. ANY RETESTS REQUIRED WILL BE PAID FOR BY THE CONTRACTOR.
11.

THE CONTRACTOR IS RESPONSIBLE FOR CONTINUOUS STORMWATER MANAGEMENT, SEDIMENT, EROSION CONTROL AND FULL REHABILITATION OF ALL DAMAGED IMPROVEMENTS, INCLUDING CULVERTS TO ORIGINAL OR BETTER CONDITION. AFTER A STORM EVENT, ALL STANDING WATER SHALL BE PUMPED OUT TO PROTECT ROADWAY SUBGRADE. GRADE ALL WORK AREAS TO MAINTAIN POSITIVE SURFACE DRAINAGE DURING THE WORK.
12.

ALL REMOVED MATERIALS (UNSUITABLE SOIL, EXCESS MATERIAL, ROCK MATERIAL, STRUCTURES, PIPE, ETC.) SHALL BE PROPERLY DISPOSED OF, OFF SITE, AT THE CONTRACTORS EXPENSE UNLESS DESIGNATED OTHERWISE.
13.

AVI & THE OWNER ARE NOT A GUARANTOR OF THE CONSTRUCTING CONTRACTORS OBLIGATION AND PERFORMANCE OF WORK.
14.

AVI & THE OWNER ARE NOT RESPONSIBLE FOR SAFETY, IN, ON, OR ABOUT THE PROJECT SITE, NOR FOR COMPLIANCE BY THE APPROPRIATE PARTY OF ANY REGULATIONS THERETO.
15.

AVI & THE OWNER EXERCISE NO CONTROL OF THE SAFETY OR ADEQUACY OF ANY EQUIPMENT, BUILDING COMPONENTS, SCAFFOLDING, FORMS, OR OTHER WORK AIDS USED IN OR ABOUT THE PROJECT, OR IN THE SUPERVISION OF THE SAME.
16.

AVI & THE OWNER EXERCISE NO CONTROL OF THE SAFETY OR ADEQUACY OF ANY EQUIPMENT, BUILDING COMPONENTS, SCAFFOLDING, FORMS, OR OTHER WORK AIDS USED IN OR ABOUT THE PROJECT, OR IN THE SUPERVISION OF THE SAME.

GENERAL / GRADING NOTES (CONTINUED):

17.

ALL NOTES AND REQUIREMENTS IDENTIFIED IDENTIFIED IN THE BID PACKAGE ARE APPLICABLE AND PART OF THE ENTIRE CONSTRUCTION DOCUMENTS.
18.

REFER TO OWNERS GEOTECHNICAL ENGINEERING REPORT AND ADDENDUM (IF PRESENT) FOR SOIL CONDITIONS, GROUNDWATER & RECOMMENDATIONS FOR THIS PROJECT. THE CONTRACTOR SHALL MAKE THEIR OWN CONCLUSIONS FROM THE INFORMATION AND DETERMINE EFFORTS FOR COMPACTION AND DEWATERING BASED ON THIS REPORT AND OTHER INFORMATION INCLUDED IN THE PLANS AND SPECIFICATIONS.
19.

TOPSOIL SHALL BE REMOVED AND STOCKPILED PRIOR TO OVERLOT GRADING ACTIVITIES.
20.

A WATER TRUCK SHALL BE KEPT ON-SITE AT ALL TIMES DURING EARTHWORK ACTIVITIES FOR DUST ABATEMENT.

UTILITY LOCATION NOTES:

1.

CALL FOR UTILITY LOCATES 48 HOURS BEFORE DIGGING IN THE CONSTRUCTION SITE: DIAL 811
2.

UTILITY OWNER REPRESENTATIVE SHALL BE PRESENT FOR ALL UTILITY POT HOLING ACTIVITIES
3.

CONTRACTOR IS RESPONSIBLE FOR NOTING ALL UTILITY LOCATIONS ON THE AS-BUILT SET OF DRAWINGS IF THE DOCUMENTS ARE NOT ACCURATE
4.

THE CONTRACTOR SHALL VERIFY ALL ABANDONED UTILITIES IN THE PROJECT PRIOR BEGINNING CONSTRUCTION

PERMITS REQUIRED:

PERMITS & ASSOCIATED FEES REQUIRED TO BE OBTAINED FOR THIS PROJECT MAY INCLUDE, BUT MAY NOT BE LIMITED TO THE FOLLOWING:

- GRADING PERMIT, CITY OF CHEYENNE (BY THE CONTRACTOR)

- DUST CONTROL PLAN (BY CONTRACTOR WITH APPROVAL BY CITY OF CHEYENNE)

- CONSTRUCTION WATER: CONTRACTOR SOURCE

- STORMWATER POLLUTION PLAN AND PERMIT TO DISCHARGE FROM DEQ. (BY THE CONTRACTOR)

CONTRACTOR'S AS-BUILT DRAWING NOTES:

1.

THE CONTRACTOR SHALL PROVIDE, AT THE COMPLETION OF THE PROJECT OR EACH PHASE OF THE PROJECT, A COMPLETE SET OF REPRODUCIBLE "AS-BUILT" DRAWINGS TO THE OWNER PRIOR TO FINAL PAYMENT. THE AS-BUILT DRAWINGS WILL CONSIST OF A MARKED-UP SET OF "ISSUED FOR CONSTRUCTION" DRAWINGS VERIFYING THE FOLLOWING:

1.1.

ALL LENGTHS, SIZES AND MATERIAL OF INSTALLED PIPE, MANHOLES, AND ANY OTHER IMPROVEMENT.

1.2.

INVERT ELEVATION OF EACH PIPE AT: STORM SEWER AND SANITARY MANHOLES, INLETS, OUTLETS, STUB ENDS, ETC. TOP OF PIPE ELEVATIONS OF EACH FOREIGN PIPE CROSSING.

1.3.

SLOPE OF STORM AND SANITARY PIPES BETWEEN MANHOLES AND STRUCTURES.

1.4.

TOP OF PIPE ELEVATION AT REGULAR INTERVALS AND/OR FITTINGS FOR WATER LINES, FIRE PROTECTION LINES, GAS LINES, ELECTRIC CONDUITS.

1.5.

ELEVATIONS AT FLOWLINE OF CURB AND GUTTER AT DESIGN LOCATIONS AND GRADE BREAKS. ELEVATION OF INLET AND TOP OF CURB AT CURB INLETS.

1.6.

ANY OTHER VARIATIONS FROM THE CONSTRUCTION DOCUMENTS MUST BE CLEARLY NOTED AND DETAILED ON THE PLANS.
2.

THE FINAL AS-BUILT DRAWING CERTIFICATE SHALL BE SIGNED ON EACH SHEET BY THE CONTRACTOR OR SUBCONTRACTOR RESPONSIBLE FOR THE WORK.
3.

CONTRACTOR AS-BUILT DRAWINGS WILL BE DUE PRIOR TO SUBMITTING THE FINAL PAY REQUEST. NON-CONFORMING AS-BUILT DRAWINGS WILL BE RETURNED TO THE CONTRACTOR FOR REVISIONS AND RESUBMITTAL. FINAL PAYMENT WILL NOT BE ISSUED UNTIL THE OWNER HAS REVIEWED AND APPROVED THE AS-BUILT DRAWINGS.

DRAWING SCALE NOTE:

1.

DRAWING SCALES ARE BASED ON 11"x17"
2.

DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE ENGINEER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-CONSTRUCTED RECORD DRAWINGS

BASIS OF BEARING:


1.

SURVEY DATUM

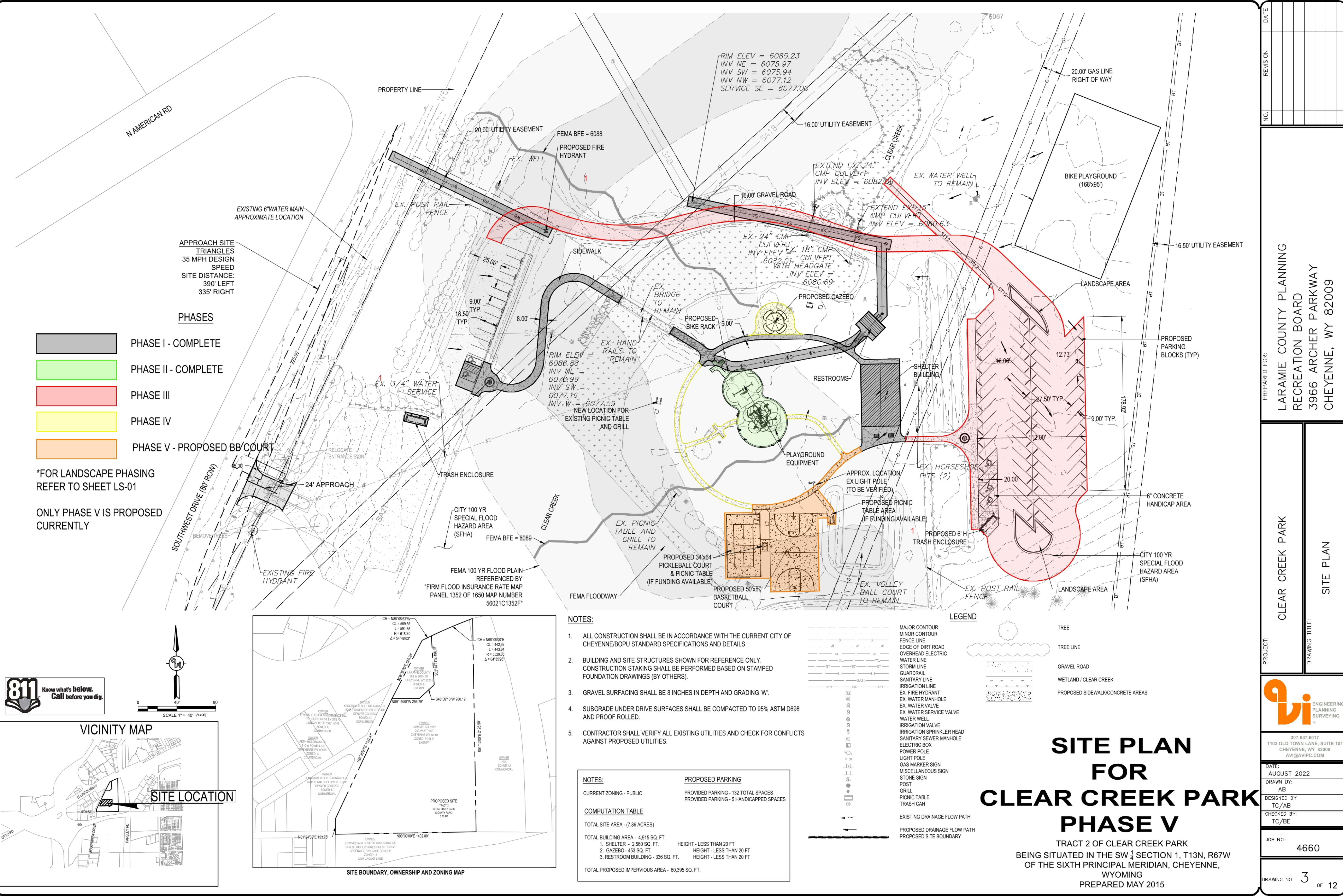
COORDINATES AND DISTANCES ARE BASED ON THE CITY OF CHEYENNE CONTROL MONUMENTS (PHIPPEN, BRIDGE, ORCHARD, INTERSTATE, ZEUS, NOB HILL, RED DOG) USING GROUND CONTROL COORDINATES.
2.

BASIS OF ELEVATION

VERTICAL DATUM IS BASED ON CITY OF CHEYENNE CONTROL NGVD 1929

DATE					
REVISION					
NO.					
PREPARED FOR:	LARAMIE COUNTY PLANNING RECREATION BOARD 3966 ARCHER PARKWAY CHEYENNE, WY 82009				
PROJECT:	CLEAR CREEK PARK BASKETBALL COURT		GENERAL NOTES		
DRAWING TITLE:					
					
307.637.6017 1103 OLD TOWN LANE, SUITE 101 CHEYENNE, WY 82009 AVI@AVIPC.COM					
DATE PLOTTED:	Feb 23, 2023				
DRAWN BY:	ACB				
DESIGNED BY:	ACB				
CHECKED BY:	TC				
JOB NO.:	4660				
DWG NO.	2		OF		12

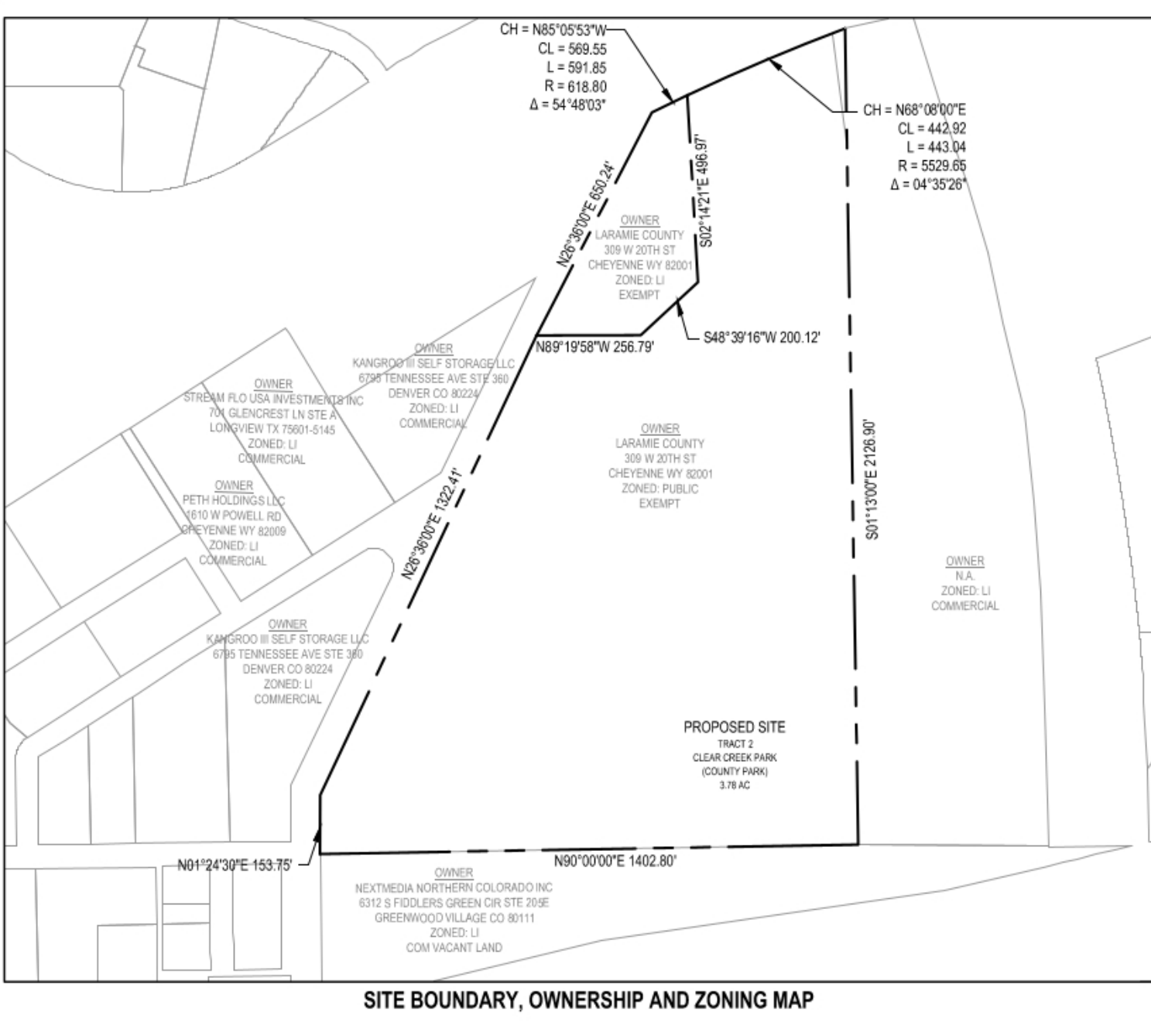
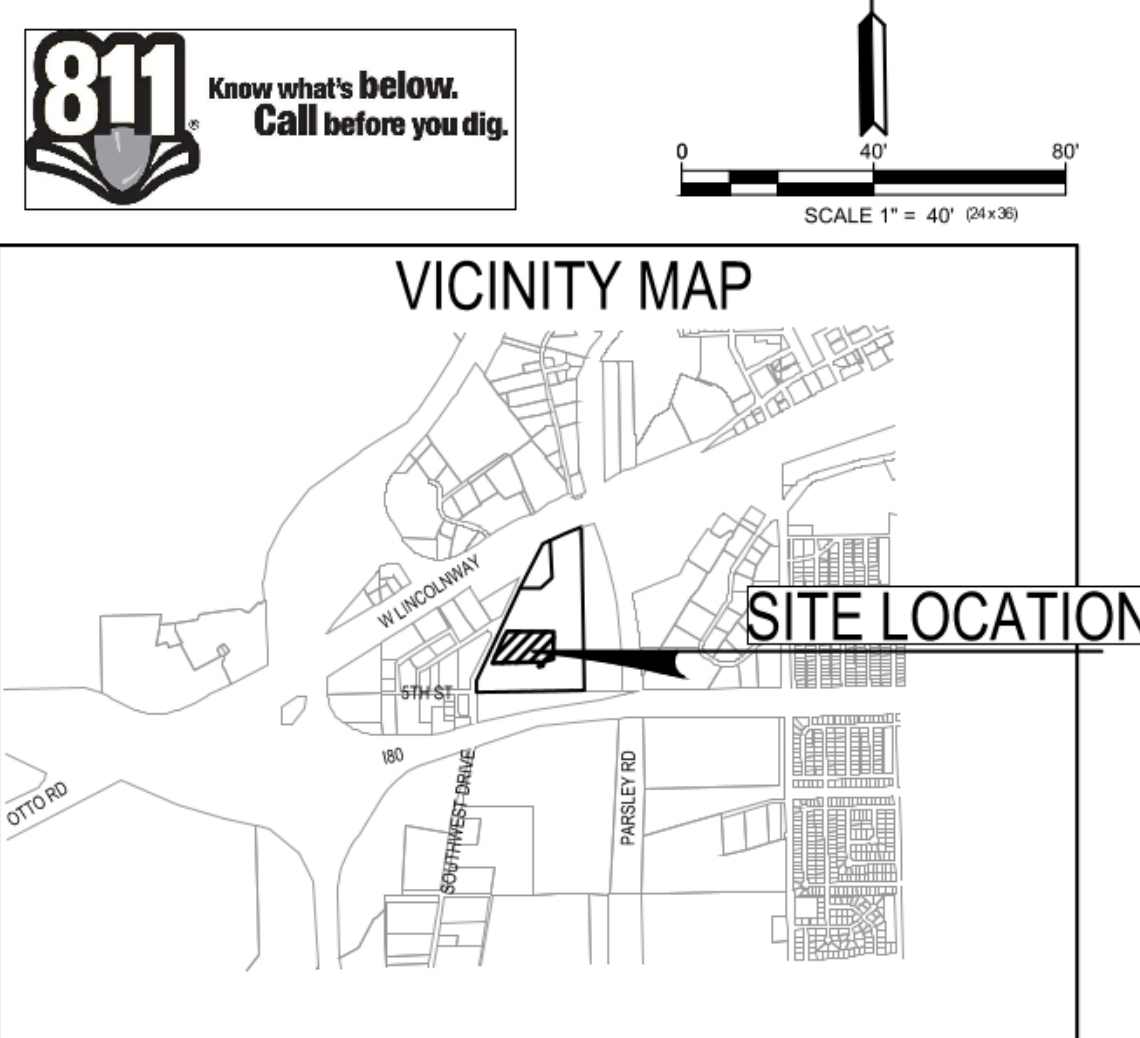




- PHASES**
- PHASE I - COMPLETE
  - PHASE II - COMPLETE
  - PHASE III
  - PHASE IV
  - PHASE V - PROPOSED BB/COURT

\*FOR LANDSCAPE PHASING  
REFER TO SHEET LS-01

ONLY PHASE V IS PROPOSED  
CURRENTLY



- NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF CHEYENNE/BOPU STANDARD SPECIFICATIONS AND DETAILS.
  - BUILDING AND SITE STRUCTURES SHOWN FOR REFERENCE ONLY. CONSTRUCTION STAKING SHALL BE PERFORMED BASED ON STAMPED FOUNDATION DRAWINGS (BY OTHERS).
  - GRAVEL SURFACING SHALL BE 8 INCHES IN DEPTH AND GRADING 'W'.
  - SUBGRADE UNDER DRIVE SURFACES SHALL BE COMPACTED TO 95% ASTM D698 AND PROOF ROLLED.
  - CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND CHECK FOR CONFLICTS AGAINST PROPOSED UTILITIES.

NOTES:	PROPOSED PARKING
CURRENT ZONING - PUBLIC	PROVIDED PARKING - 132 TOTAL SPACES PROVIDED PARKING - 5 HANDICAPPED SPACES
<b>COMPUTATION TABLE</b>	
TOTAL SITE AREA - (7.86 ACRES)	
TOTAL BUILDING AREA - 4,915 SQ. FT.	
1. SHELTER - 2,560 SQ. FT.	
2. GAZEBO - 453 SQ. FT.	
3. RESTROOM BUILDING - 336 SQ. FT.	
TOTAL PROPOSED IMPERVIOUS AREA - 60,395 SQ. FT.	

**LEGEND**

MAJOR CONTOUR  
MINOR CONTOUR  
FENCE LINE  
EDGE OF DIRT ROAD  
OVERHEAD ELECTRIC  
WATER LINE  
STORM LINE  
GUARDRAIL  
SANITARY LINE  
IRRIGATION LINE  
EX. FIRE HYDRANT  
EX. WATER MANHOLE  
EX. WATER VALVE  
EX. WATER SERVICE VALVE  
WATER WELL  
IRRIGATION VALVE  
IRRIGATION SPRINKLER HEAD  
SANITARY SEWER MANHOLE  
ELECTRIC BOX  
POWER POLE  
LIGHT POLE  
GAS MARKER SIGN  
MISCELLANEOUS SIGN  
STONE SIGN  
POST  
GRILL  
PICNIC TABLE  
TRASH CAN

EXISTING DRAINAGE FLOW PATH  
PROPOSED DRAINAGE FLOW PATH  
PROPOSED SITE BOUNDARY

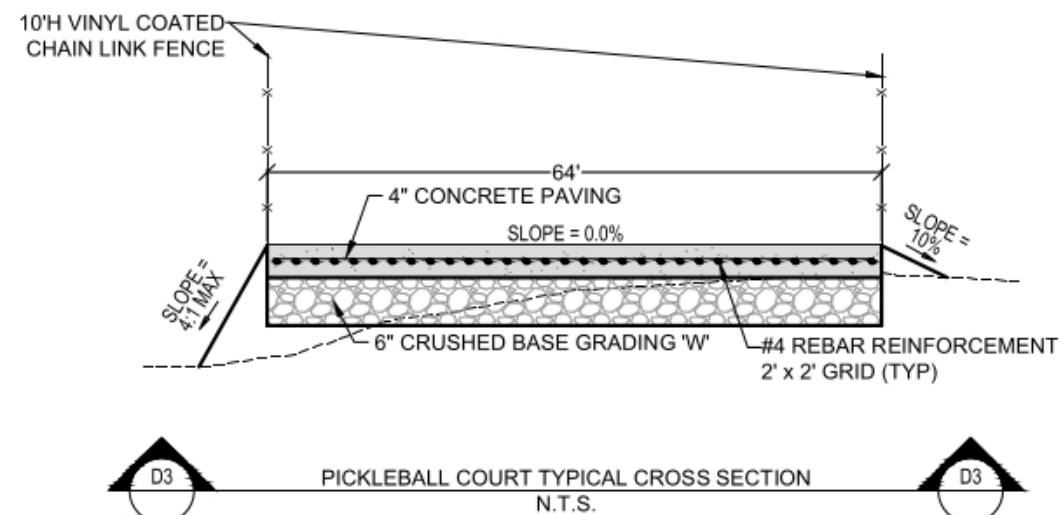
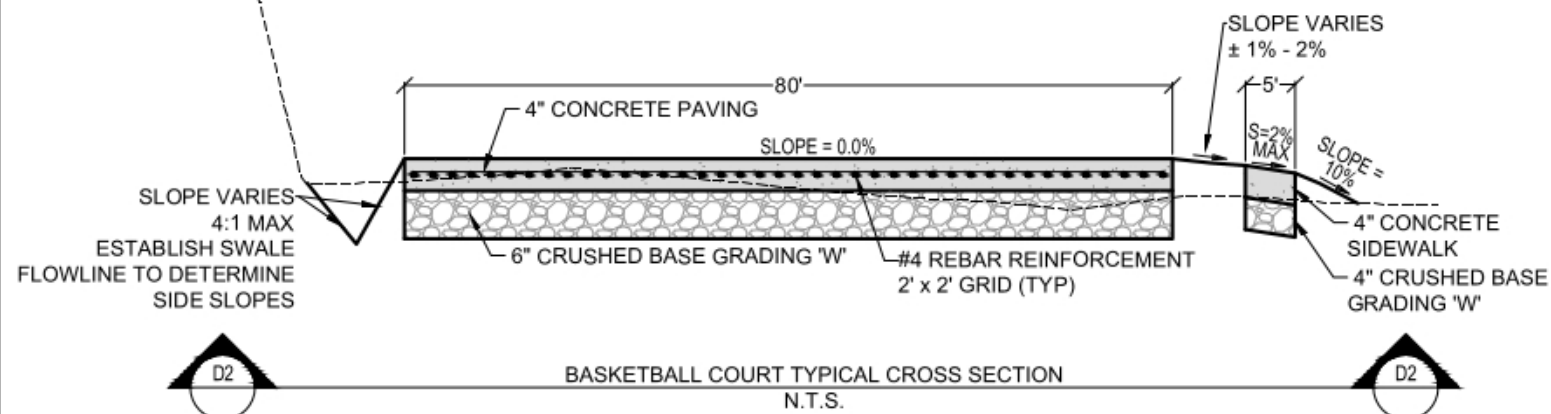
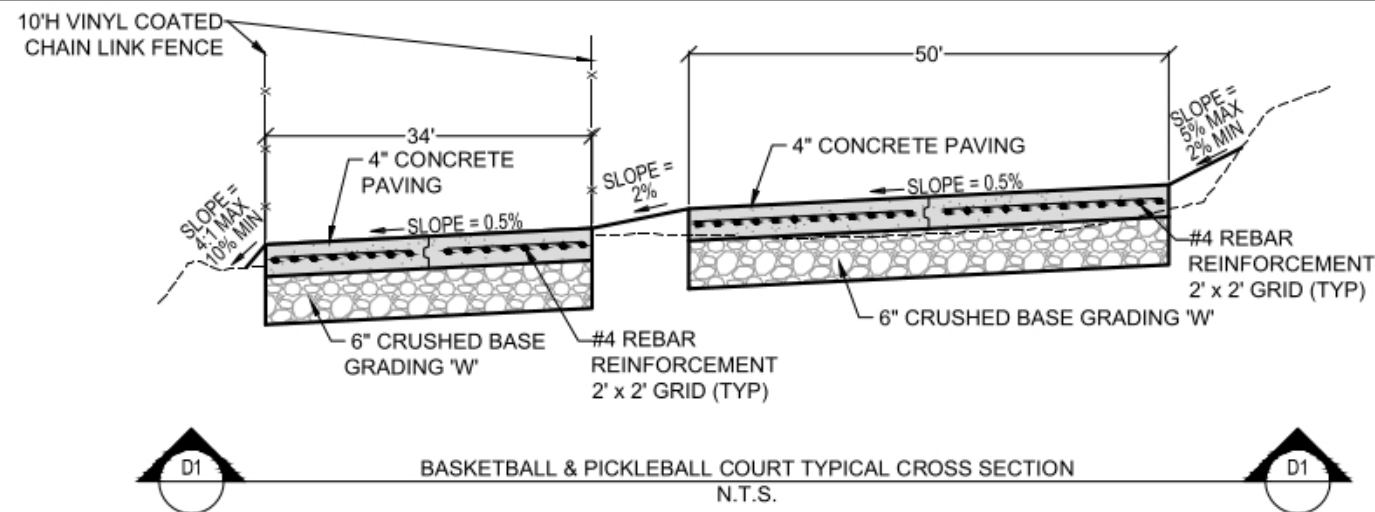
TREE  
TREE LINE  
GRAVEL ROAD  
WETLAND / CLEAR CREEK  
PROPOSED SIDEWALK/CONCRETE AREAS

# SITE PLAN FOR CLEAR CREEK PARK PHASE V

TRACT 2 OF CLEAR CREEK PARK  
BEING SITUATED IN THE SW 1/4 SECTION 1, T13N, R67W  
OF THE SIXTH PRINCIPAL MERIDIAN, CHEYENNE,  
WYOMING  
PREPARED MAY 2015

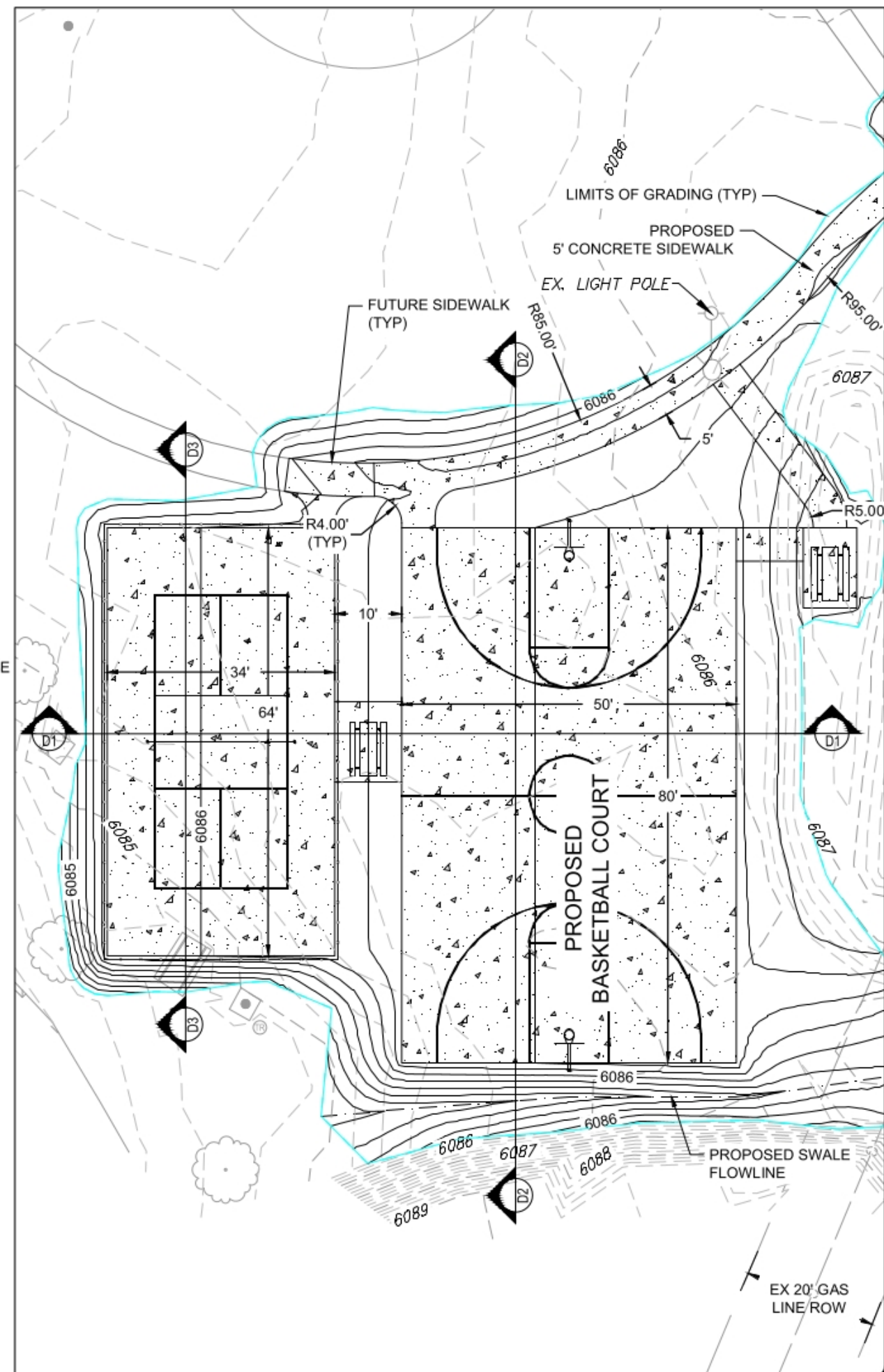
PROJECT:	DATE:
NO.	REVISION:
LARAMIE COUNTY PLANNING RECREATION BOARD 3966 ARCHER PARKWAY CHEYENNE, WY 82009	
CLEAR CREEK PARK	SITE PLAN
PREPARED FOR:	DATE:
NO.	REVISION:
307.637.6017 1103 OLD TOWN LANE, SUITE 101 CHEYENNE, WY 82009 AVI@AVIPC.COM	
DATE:	JOB NO.:
AUGUST 2022	4660
DRAWN BY:	DRAWING NO.:
AB	3
DESIGNED BY:	OF 12
TC/AB	
CHECKED BY:	
TC/BE	





#### NOTES:

1. ALL CONCRETE SHALL BE 4,500 PSI
2. ALL REINFORCING SHALL BE GRADE 60
3. ALL BASE MATERIAL SHALL BE CRUSHED BASE GRADING 'W'



DATE	
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PREPARED FOR:	
LARAMIE COUNTY PLANNING RECREATION BOARD 3966 ARCHER PARKWAY CHEYENNE, WY 82009	
PROJECT:	
CLEAR CREEK PARK BASKETBALL COURT	
DRAWING TITLE:	
BASKETBALL COURT TYPICAL SECTIONS	
DATE PLOTTED:	
Feb 23, 2023	
DRAWN BY:	
ACB	
DESIGNED BY:	
ACB	
CHECKED BY:	
TC	
JOB NO.:	
4660	
DWG NO. 4 OF 12	







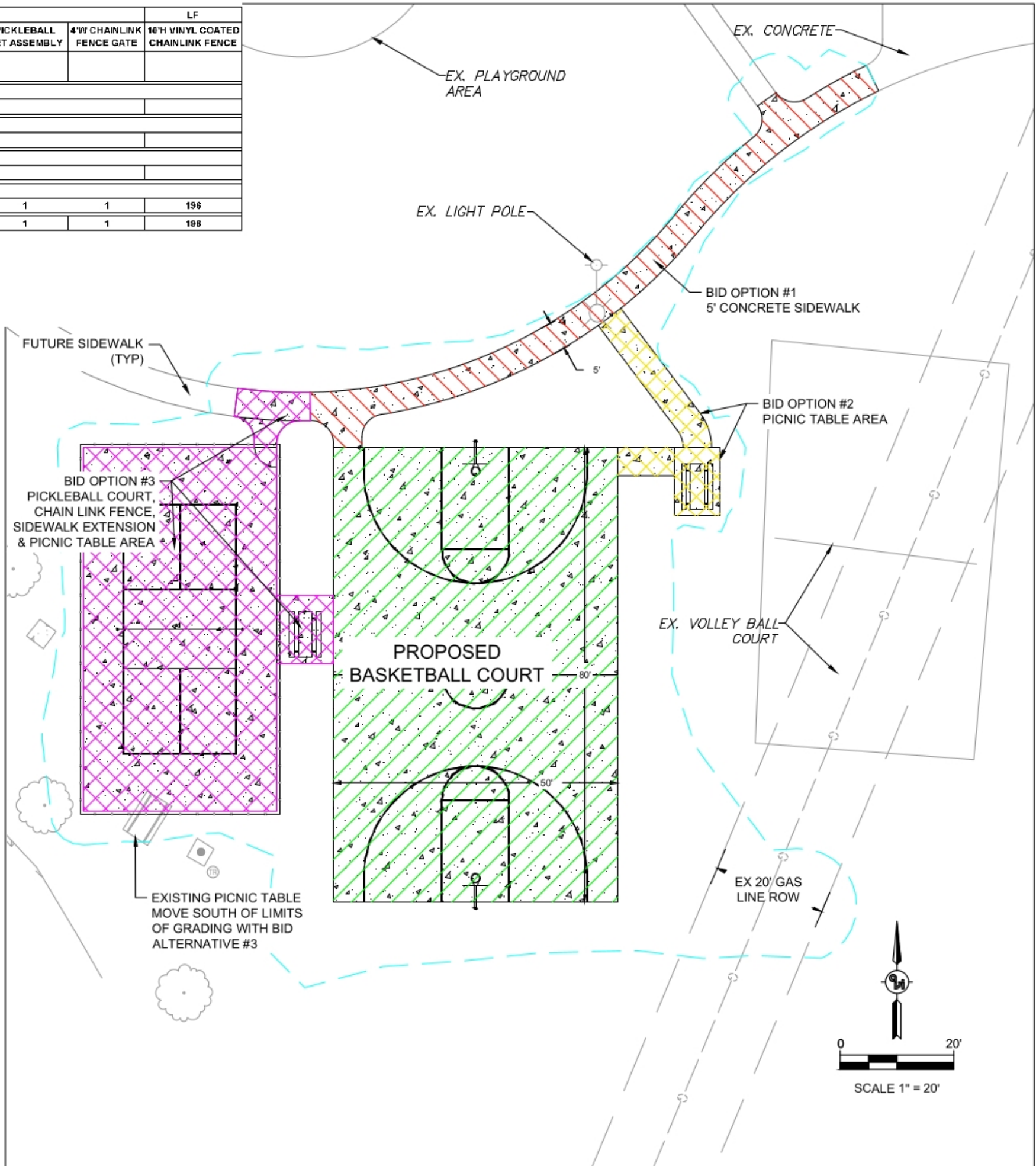
CLEAR CREEK PARK BASKETBALL COURT SUMMARY

LAYOUT & GRADING PLANS SHEET 1 - 12	SY				EA				LF
	CONCRETE PAVEMENT	CRUSHED BASE GRADING 'W'	CONCRETE SIDEWALK	BASKETBALL HOOP ASSEMBLY	8' POLYVINYL COATED METAL PICNIC TABLE	PICKLEBALL NET ASSEMBLY	4'W CHAINLINK FENCE GATE	10'H VINYL COATED CHAINLINK FENCE	
	4"	4"	8"	4"					
BASKETBALL COURT									
+	-	+	445	445	2				
ADD ALTERNATE #1 SIDEWALK CONNECTION TO EXISTING CONCRETE									
+	-	+	72	72					
ADD ALTERNATE #2 PICNIC TABLE AREA									
+	-	+	11	33	22	1			
ADD ALTERNATE #3 PICKLEBALL COURT									
+	-	+	253	21	242	10	1	1	196
TOTAL									
			709	126	887	104	2	2	196

- NOTES:
- 1) SEE TYPICAL SECTION DRAWINGS FOR CRUSHED BASE DEPTHS UNDER PAVING SECTIONS.
  - 2) ALL CONCRETE SHALL BE 4,500 PSI CITY OF CHEYENNE SPECIFIED MIX.
  - 3) ALL CRUSHED BASE SHALL BE CITY OF CHEYENNE SPECIFIED GRADING 'W'.
  - 4) COURSE AGGREGATE FOR CONCRETE SHALL BE QUARRIED STONE MATERIAL.

LEGEND

- PRIMARY BID ITEMS
- ADD ALTERNATIVE #1 ITEMS
- ADD ALTERNATIVE #2 ITEMS
- ADD ALTERNATIVE #3 ITEMS



DATE

REVISION

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3966 ARCHER PARKWAY  
CHEYENNE, WY 82009

PROJECT:

CLEAR CREEK PARK BASKETBALL COURT

DRAWING TITLE:

BID OPTIONS & TABULATION

307.637.6017  
1103 OLD TOWN LANE, SUITE 101  
CHEYENNE, WY 82009  
AVI@AVIPC.COM

DATE PLOTTED:

Feb 23, 2023

DRAWN BY:

ACB

DESIGNED BY:

ACB

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TC

JOB NO.:

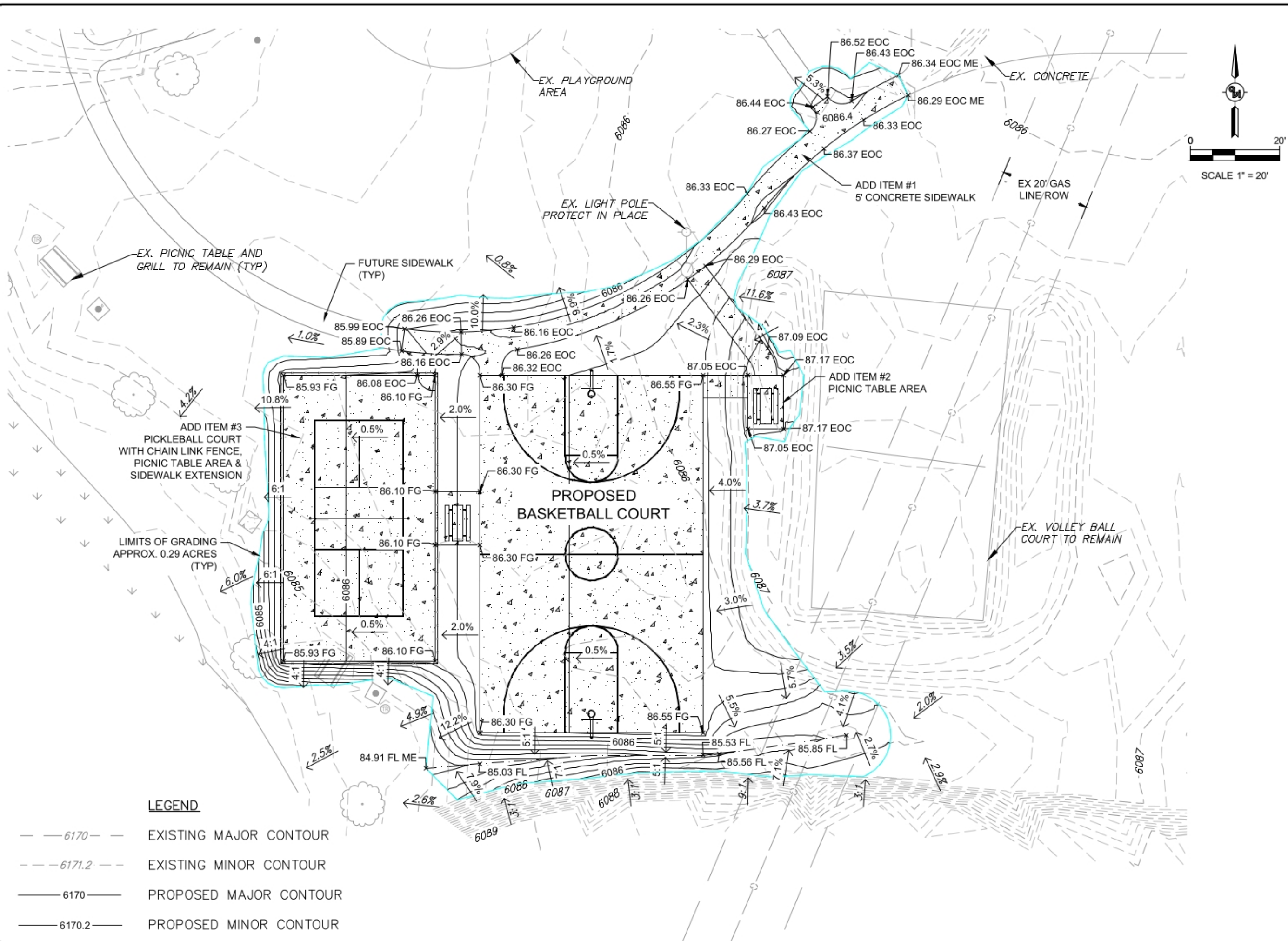
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DWG NO. 6

OF 12



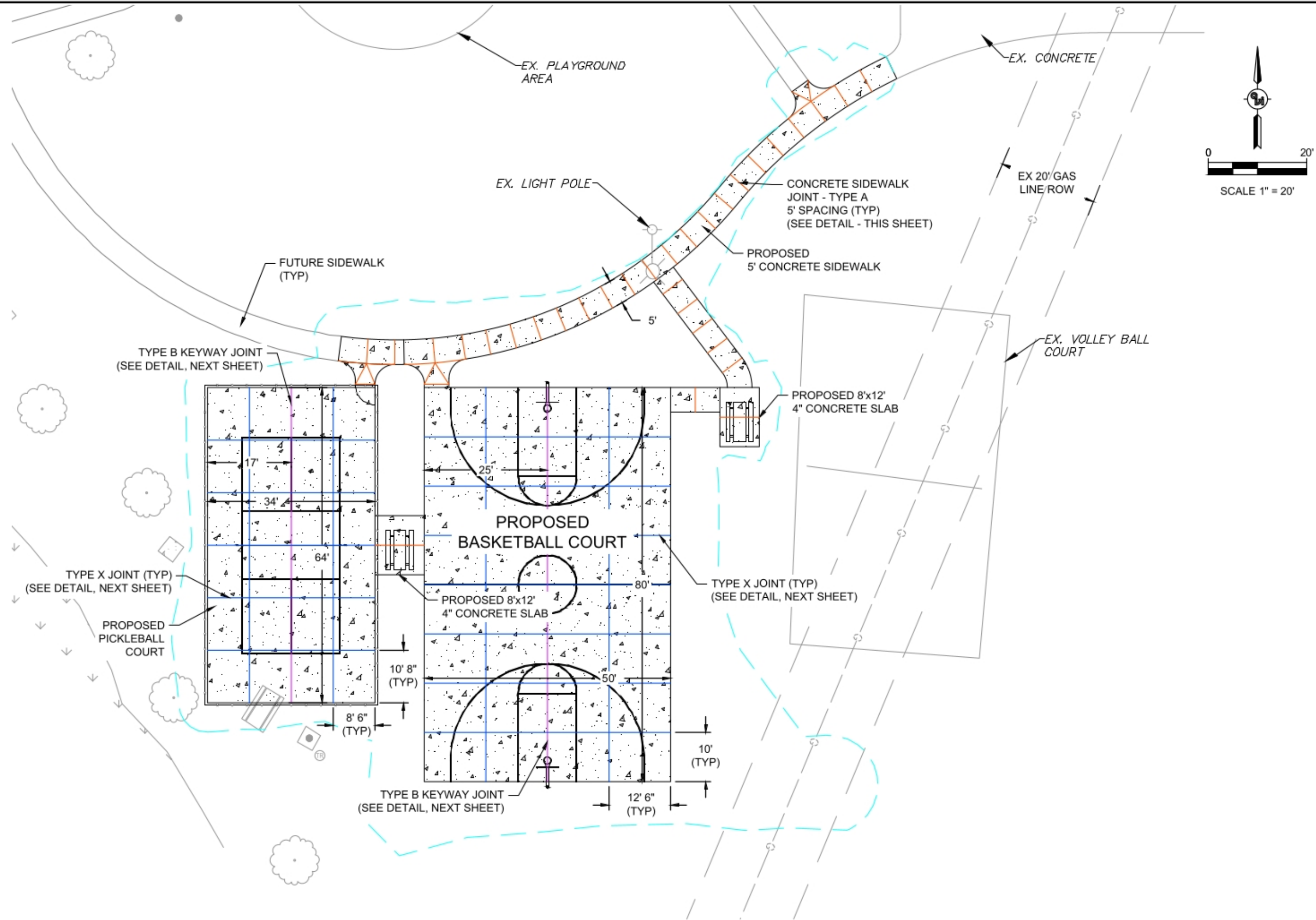
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DATE	
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PREPARED FOR:	LARAMIE COUNTY PLANNING RECREATION BOARD 3966 ARCHER PARKWAY CHEYENNE, WY 82009
PROJECT:	CLEAR CREEK PARK BASKETBALL COURT
DRAWING TITLE:	DETAILED GRADING PLAN
	
	307.637.6017 1103 OLD TOWN LANE, SUITE 101 CHEYENNE, WY 82009 AVI@AVIPC.COM
DATE PLOTTED:	Feb 23, 2023
DRAWN BY:	ACB
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JOB NO.:	4660
DWG NO.	7 OF 12



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NO.	REVISION	DATE

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LARAMIE COUNTY PLANNING  
RECREATION BOARD  
3966 ARCHER PARKWAY  
CHEYENNE, WY 82009

PROJECT:  
CLEAR CREEK PARK BASKETBALL COURT

DRAWING TITLE:  
JOINT LAYOUT & SURFACING DETAILS

**avi** ENGINEERING  
PLANNING  
SURVEYING  
INC.

307.637.6017  
1103 OLD TOWN LANE, SUITE 101  
CHEYENNE, WY 82009  
AVI@AVIPC.COM

DATE PLOTTED:  
Feb 23, 2023

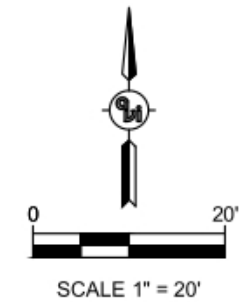
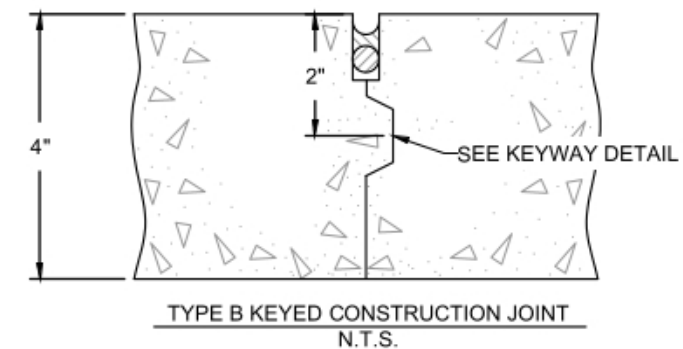
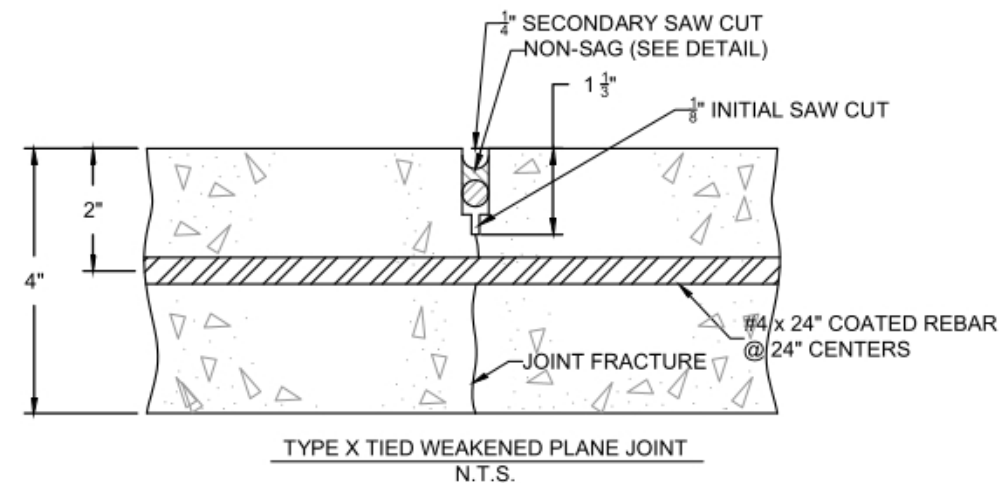
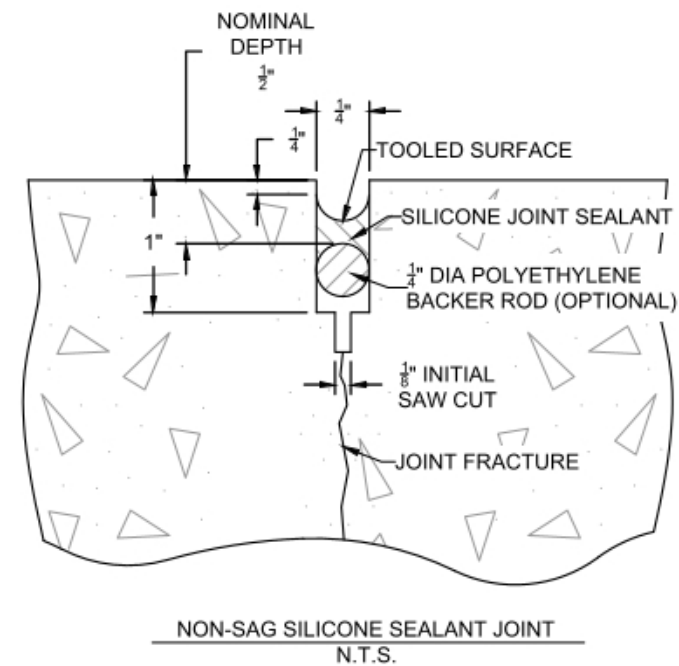
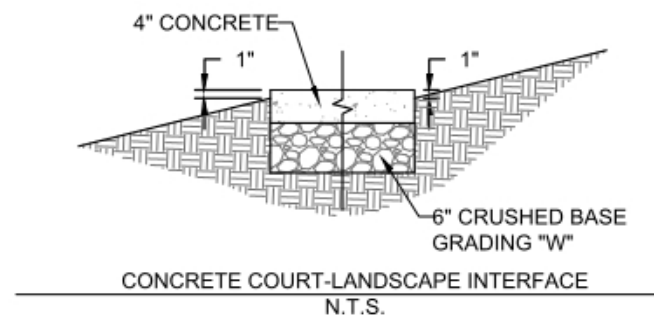
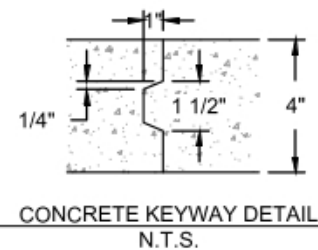
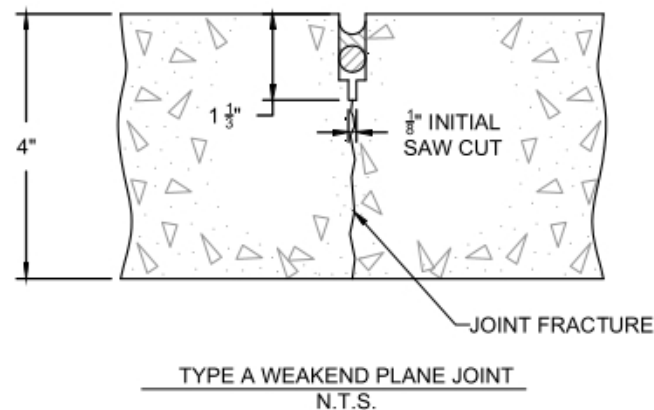
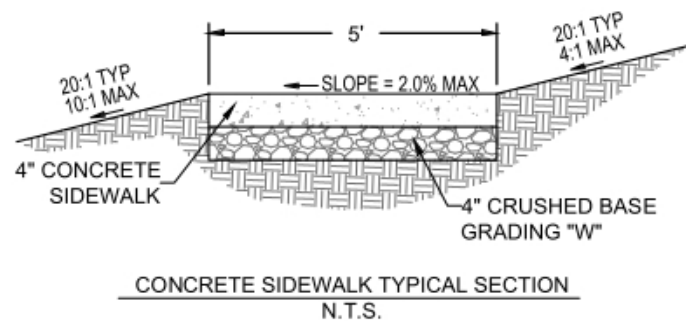
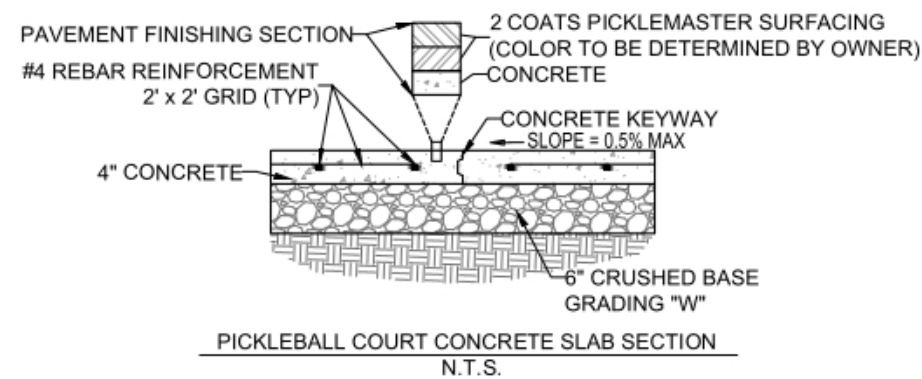
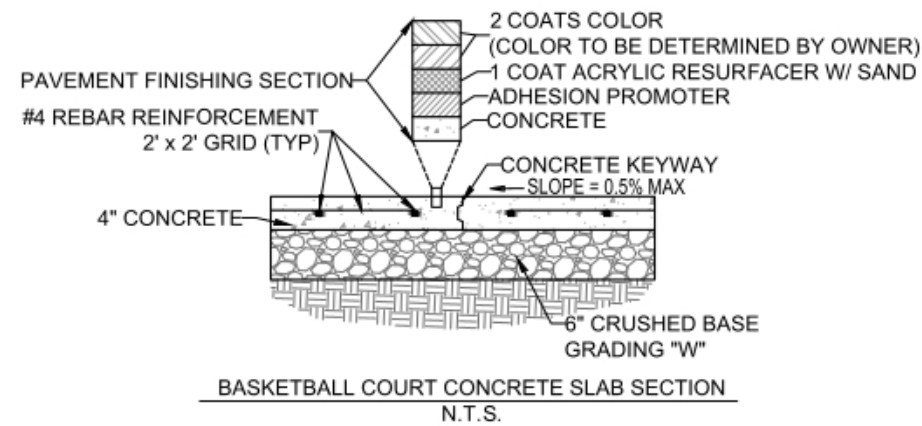
DRAWN BY: ACB

DESIGNED BY: ACB

CHECKED BY: TC

JOB NO.: 4660





DATE	
REVISION	
NO.	

PREPARED FOR:  
LARAMIE COUNTY PLANNING  
RECREATION BOARD  
3966 ARCHER PARKWAY  
CHEYENNE, WY 82009

PROJECT:  
CLEAR CREEK PARK BASKETBALL COURT  
DRAWING TITLE:  
JOINT LAYOUT & SURFACING DETAILS

**avi** ENGINEERING  
PLANNING  
SURVEYING  
307.637.6017  
1103 OLD TOWN LANE, SUITE 101  
CHEYENNE, WY 82009  
AVI@AVIPC.COM

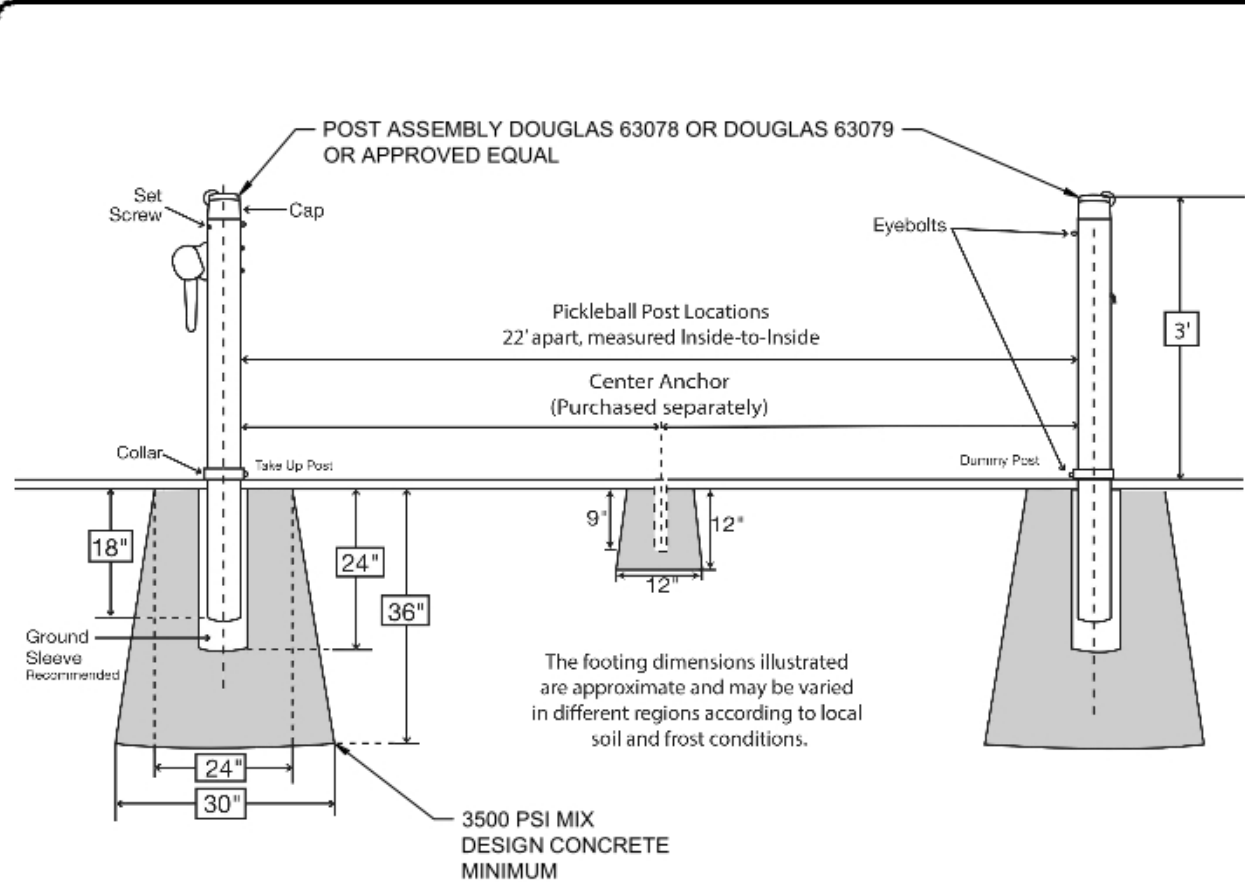
DATE PLOTTED:  
Feb 23, 2023  
DRAWN BY: ACB  
DESIGNED BY: ACB  
CHECKED BY: TC  
JOB NO.: 4660

DWG NO. 9 OF 12



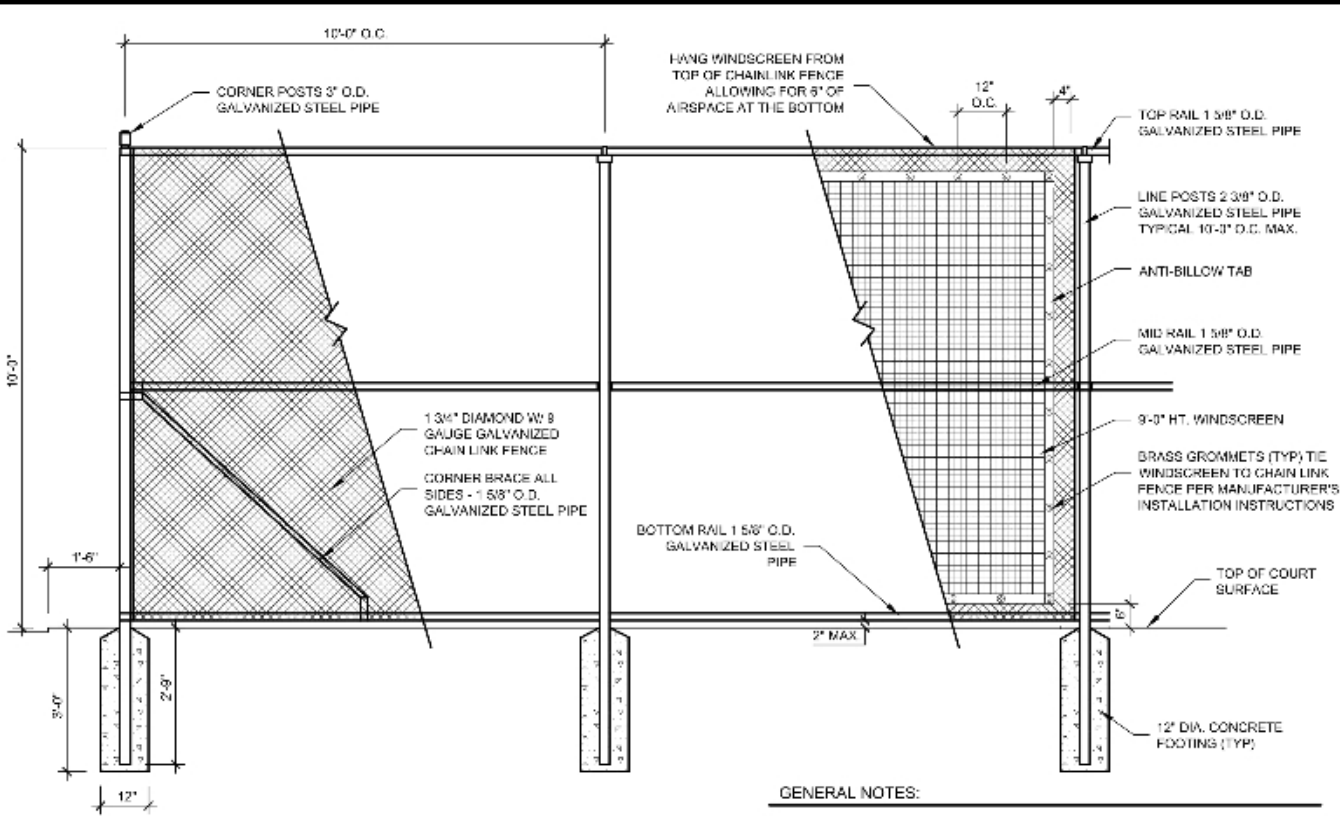
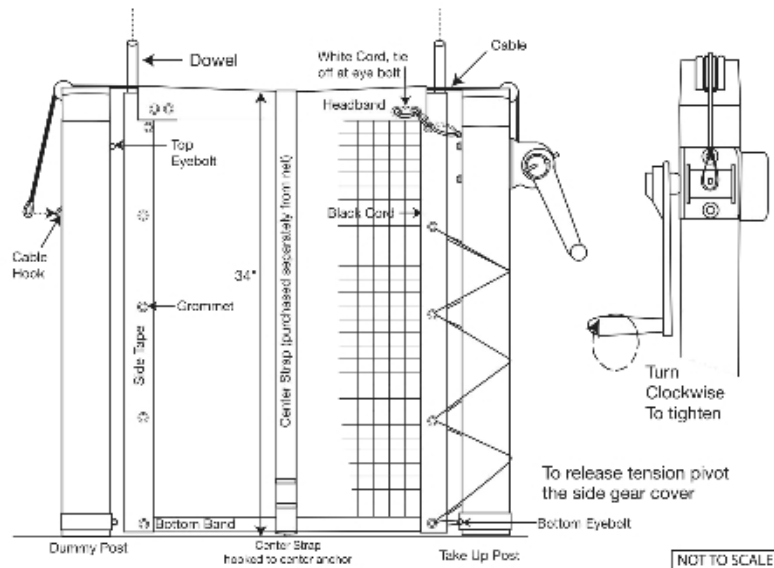






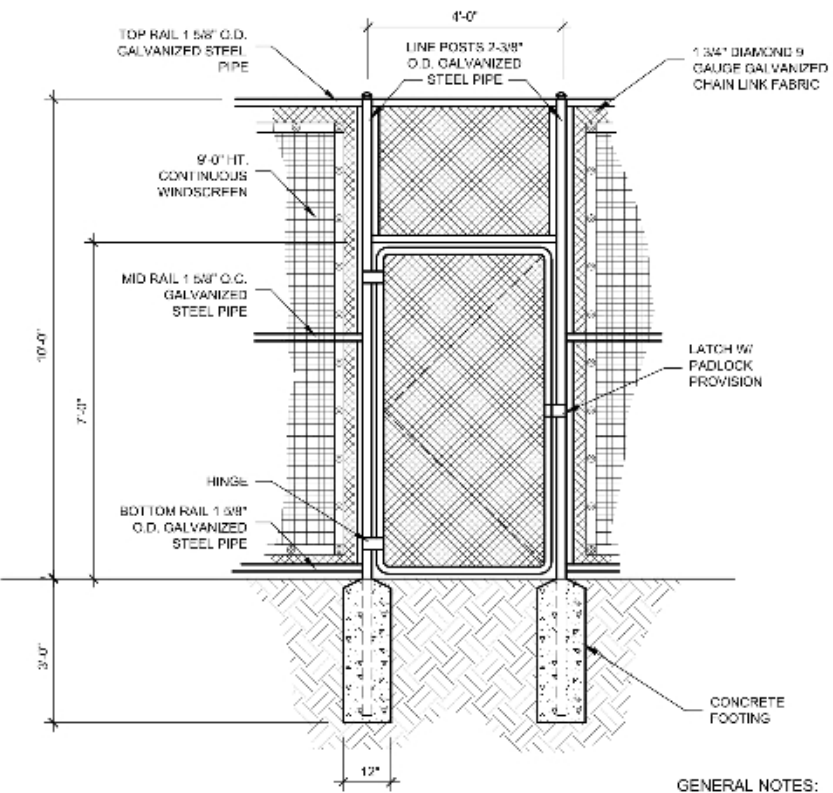
# NOTES:

POLE SHALL BE CONSTRUCTED OF 2 7/8" OUTSIDE DIAMETER 8 GA. STEEL. DESIGN SHALL BE A EXTERNAL WIND PICKLEBALL POST. POLE SHALL BE A LENGTH TO ALLOW FOR TOP OF NET TO SIT 36" ABOVE COURT SURFACE. 24" ALUMINUM GROUND SLEEVES SHALL BE USED TO INSERT THE POST INTO CONCRETE ANCHOR TO ALLOW FOR REMOVAL & REPLACEMENT OF POSTS WITHOUT DISTURBANCE TO CONCRETE FOOTING. POST SHALL BE FINISHED WITH BAKED-ON POLYESTER POWDER COAT TO RESIST RUST & INCREASE DURABILITY. POLES SHALL CARRY A MINIMUM 5-YEAR WARRANTY. POSTS SHALL BE SPACED 22' APART (MEASURED INSIDE-TO-INSIDE). MOUNTING HARDWARE SHALL BE INCLUDED. PICKLEBALL NET TO BE INSTALLED SHALL BE DOUGLAS JTN-30 OR APPROVED EQAUL. INSTALLATION TO BE COMPLETED WITH MANUFACTURER'S INSTRUCTIONS. DO NOT SCALE DRAWINGS.



## PICKLE BALL COURT FENCE ELEVATION

NOT TO SCALE



## TENNIS COURT ELEVATION @ ENCLOSURE GATE

NOT TO SCALE

DATE	
REVISION	
NO.	
PREPARED FOR:	LARAMIE COUNTY PLANNING RECREATION BOARD 3966 ARCHER PARKWAY CHEYENNE, WY 82009
PROJECT:	CLEAR CREEK PARK BASKETBALL COURT
DRAWING TITLE:	PICKLEBALL COURT DETAILS
DATE PLOTTED:	Feb 23, 2023
DRAWN BY:	ACB
DESIGNED BY:	ACB
CHECKED BY:	TC
JOB NO.:	4660
DWG NO. 11 OF 12	



